



**CITY OF BUCKEYE**  
**PLANNING AND ZONING COMMISSION**  
**REGULAR MEETING AGENDA**  
**DECEMBER 8, 2015**

**NOTICE OF POSSIBLE QUORUM OF THE BUCKEYE CITY COUNCIL**

In accordance with Title 38, Chapter 3, Article 3.1, Arizona Revised Statutes, a majority of the City Council may attend the regular meeting of the Buckeye Planning and Zoning Commission but there will be no voting taking place by the City Council. Council members may participate in the discussion of any item on the agenda.

*Accessibility for all persons with disabilities will be provided upon request. Please telephone your accommodation request to (623)349-6911, 72 hours in advance if you need a sign language interpreter or alternate materials for a visual or hearing impairment. [TDD (623)234-9507]*

City of Buckeye  
Council Chambers  
530 East Monroe Avenue  
Buckeye, AZ 85326

Workshop: None  
Regular Meeting: 6:00 pm

**Order of Items**

1. The Chair will call the item number and read the notice of hearing.
2. A staff member of the Development services Department will summarize the case.
3. The applicant or representative may speak in support of the application.
4. Other persons in favor of the application may be heard.
5. Those opposed to the application may be heard.
6. The applicant may be heard in rebuttal.
7. All questions must be addressed to the Chair in order to present general discussion between those in favor of the application and those opposed to it.

At Large	District 1	District 2	District 3	District 4	District 5	District 6
Thomas Marcinko	Jeffrey Nagy	Preston Hundley	Carol Kempiak <i>Chairperson</i>	Clayton Bedoya	Reverend Gregory Clemmons	Nick Hudec <i>Vice Chairperson</i>
Vacant <i>(Alternate)</i>	Jesse Knight <i>(Alternate)</i>	Vacant <i>(Alternate)</i>	Deanna Kupcik <i>(Alternate)</i>	Gail Reese <i>(Alternate)</i>	Bill Elliott <i>(Alternate)</i>	Duane Mitry <i>(Alternate)</i>

***Council Liaison:*** Councilmember Craig Heustis

1.	<b>CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL</b>	
2.	<b>APPROVAL OF MINUTES FROM NOVEMBER 24, 2015 PLANNING AND ZONING COMMISSION REGULAR MEETING</b>	<b><i>Action required:</i></b> <i>Motion</i>

3.	<b>CONSENT AGENDA</b> <i>No Items</i>	
4.	<b>CONTINUANCE AGENDA</b> <i>No Items</i>	
5.	<b>REGULAR AGENDA</b>	
5A.	<b>Subject:</b> EPCOR Water Plant 15 – Zone 3N Booster Pump Station <b>Applicant:</b> Travis Nuttall, PE, EPCOR Water for Klondike Land Portfolios, LLC <b>Location:</b> Approx. 474' west of the east line of Section 17, T2N, R2W and approx. 464' north of the midsection line of Section 17, T2N, R2W (APN 502-28-010J) <b>Request:</b> Site Plan for a water booster pump station (0.72 acres) <b>Recommendation:</b> Approve with stipulations <b>Presented by:</b> Andrea Marquez, Planner II	<b>Action required:</b> <i>Public Meeting, Discussion and motion</i>
6.	<b>COMMENTS FROM THE PUBLIC</b> Alternates and members of the audience may comment on non-agenda items. However, State Open Meetings Law does not permit the Commission to discuss items not specifically on the agenda.	<b>Action required:</b> <i>None</i>
7.	<b>REPORT FROM STAFF</b>	<b>Action required:</b> <i>None</i>
8.	<b>COMMENTS FROM THE PLANNING AND ZONING COMMISSION</b>	
9.	<b>ADJOURNMENT</b>	<b>Action required:</b> <i>Motion</i>



**CITY OF BUCKEYE**  
**PLANNING AND ZONING COMMISSION**  
**REGULAR MEETING MINUTES**  
**NOVEMBER 24, 2015**

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City of Buckeye  
530 East Monroe Avenue  
Buckeye, AZ 85326

**1. CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL**

Chairperson Carol Kempiak called the meeting to order at 6:00 p.m.

Members present: Commissioner Jeffrey Nagy, Chairperson Carol Kempiak, Commissioner Gregory Clemmons, Commissioner Clayton Bedoya

Members absent: Commissioner Thomas Marcinko, Commissioner Preston Hundley, Vice Chairperson Nick Hudec, Alternate Jesse Knight, Alternate Deanna Kupcik, Alternate Gail Reese, Alternate Bill Elliott, Alternate Duane Mitry

Staff present: Planning Manager Terri Hogan, Senior Planner Ed Boik, Administrative Assistant Keri Hernandez, City Attorney Gary Verberger, Council Liaison Craig Heustis

**2. APPROVAL OF MINUTES FROM NOVEMEBR 24, 2015 PLANNING AND ZONING COMMISSION REGULAR MEETING**

A motion was made by Commissioner Bedoya and seconded by Commissioner Clemmons to approve the minutes of the November 24, 2015 Planning and Zoning Commission Regular Meeting as presented. Motion carried.

**3. CONSENT AGENDA**

No items

**4. CONTINUANCE AGENDA**

No items

**5. REGULAR AGENDA**

**5A. SUN CITY FESTIVAL HH1 PRELIMINARY PLAT**

Senior Planner Ed Boik presented and was available to answer questions from the Commission.

A public hearing was opened at 6:10 p.m.

With there being no comments from the public, the public hearing was closed at 6:10 p.m.

A motion was made by Commissioner Clemmons and seconded by Commissioner Nagy to recommend approval with presented stipulations to the City Council. Motion Carried.

**5B. EPCOR WATER PLANT 15 – ZONE 3N BOOSTER PUMP STATION**

Planning Manager Terri Hogan pointed out that this was a public meeting, not a public hearing. Ms. Hogan presented and was available to answer questions from the Commission.

Mr. Bedoya asked why this facility it is not located closer to the site being serviced. Ms. Hogan deferred to the applicant or City Engineer Scott Zipprich.

Mr. Nagy asked about odor control with the chemicals used at this facility. Ms. Hogan deferred to the City Engineer Scott Zipprich.

City Engineer Scott Zipprich addressed the concern with odor and stated that the entire process will be contained and sealed as to avoid gases being released into the air. Mr. Zipprich stated that this location was chosen in order to provide adequate pressure from the specific existing waterline. Mr. Bedoya asked if there would be any impact on Beautiful Arizona Estates water service. Mr. Zipprich stated that would be no service or ground water impact.

A public meeting was opened at 6:37 p.m.

Jean Huerta of Beautiful Arizona Estates expressed her concerns with the impact of the facility.

With there being no further comments from the public, the public hearing was closed at 6:43 p.m.

Applicant Travis Nuttall presented and was available to answer questions from the Commission. Mr. Nagy asked how these sites are maintained. Mr. Nuttall stated that these pumps are operated and monitored by a computer system, and daily routine maintenance checks are performed. Mr. Clemmons asked if a leak detection system is in place. Mr. Nuttall reported that there are constantly monitored level controls in place within the tanks. Mr. Clemmons asked if there were emergency spill procedures in place. Mr. Nuttall was unable to provide information on the type of training in question.

EPCOR Engineering Manager Eric French was present to provide information on standard operating procedures within the company, and informed the Commission that those procedures are reviewed on a regular basis.

Council Liaison Heustis asked what the cost would be to realign the existing waterline to the north corner of the property. Mr. Nuttall stated that the estimated cost would be at the minimum of one million dollars per mile. Mr. Nagy requested the applicant provide additional information on emergency training and maintenance prior to the next meeting.

A motion was made by Commissioner Bedoya and seconded by Commissioner Nagy to continue to the next scheduled Planning and Zoning Commission regular meeting. Motion carried.

#### **6. COMMENTS FROM THE PUBLIC**

None

#### **7. REPORT FROM STAFF**

None

#### **8. COMMENTS FROM THE PLANNING AND ZONING COMMISSION**

None

#### **9. ADJOURNMENT**

A motion was made by Commissioner Bedoya and seconded by Commissioner Clemmons to adjourn at 7:04 p.m. Motion carried.

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**Carol Kempiake, Chairperson**

**ATTEST:**

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**Keri Hernandez, Administrative Assistant**

I hereby certify that the foregoing is a true and correct copy of the Planning and Zoning Commission Regular Meeting held on the 24<sup>th</sup> day of November, 2015. I further certify that a quorum was present.

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**Keri Hernandez, Administrative Assistant**





# Site Plan

## Report to the Planning and Zoning Commission

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**CASE NUMBER:** PLZ-15-00119  
**TITLE:** EPCOR Water Plant 15 - Zone 3N Booster Pump Station  
**MEETING DATE:** \*December 8, 2015  
**AGENDA ITEM:** \*5A

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**Applicant:** Travis Nuttall, PE - EPCOR Water  
**Owner:** Klondike Land Portfolios, LLC  
**Request:** Site Plan for a water booster pump station  
**Location:** Approximately 474' west of the east line of Section 17, T2N R2W and approximately 464' north of the midsection line of Section 17, T2N, R2W (APN: 502-28-010J)  
**Site size:** 0.72 acres  
**Density:** N/A  
**Public input:** \*Seven (7) letters of opposition  
**Recommendation:** **Approve** with stipulations

\*Denotes change

## **PROJECT DESCRIPTION**

1. Travis Nuttall PE, EPCOR Water, on behalf of Klondike Land Portfolios, LLC is requesting a site plan for a water booster pump station on a site less than one (1) acre in size located approximately at the northwest corner of Jackrabbit Trail and Missouri Avenue within the future Canyons Views Subdivision. The project will extend water availability to residents within the designated EPCOR water service area including residents in the Verrado Master Planned Community, Sienna Hills Master Planned Community, and any future proposed development. This site plan would typically be administratively reviewed but was referred to Planning and Zoning Commission for review due to neighborhood opposition.
2. The site was originally proposed at the immediate SEC of the property adjacent to the Maricopa Flood Control Drainage easement and approximately 50 feet north of the Missouri Avenue alignment. Due to opposition of the original site location, the applicant worked with and compromised with the existing neighboring residents in moving the site further north as currently proposed.
3. The water booster pump station will draw water from the existing 24-inch water transmission main located at the intersection of Camelback Road and Jackrabbit Trail. The site will contain a 1,500 square foot operations building that will house the chemical storage and electrical equipment. A flooded suction tank (300,000 gallon capacity), a hydropneumatic surge tank system (10,000 gallon), pump gallery and emergency generator will all be contained within 8 foot high architectural style themed site walls. Additional landscape screening will be placed along the west and south side of the property. At the time of residential platting additional landscape requirements will be required. Refer to the site plan for conceptual landscape plans in addition to the view shed rendering in the "Site Plan Narrative" (Exhibits D and E).
4. The station will be utilizing 12.5% sodium hypochlorite (NaClO) at the site for rechlorination purposes (a common concentration utilized by public and private water providers). The site will generate typical noise associated with this use. The site is walled and landscaped and will utilize a Cummins Quiet Site Stage 2 enclosure to mitigate sound generated when in operation.

## **AREA CONTEXT**

5. ***Table 1: Existing Land Use, General Plan Designation, and Zoning District***

	LAND USE	GENERAL PLAN	ZONING
<b>Subject Property</b>	<b>Vacant</b>	<b>Medium Density Residential 3.01-6 du/ac</b>	<b>Planned Residential</b>
North	Vacant	Low Density 1.01-3 du/ac and Regional Commercial	RU-43
South	Residential	Low Density 1.01-3 du/ac	RI-35
East	Vacant	Low Density 1.01-3 du/ac	R1-62, Overlay R.U.P.D./P.A.D (County) Zanjero Trails
West	Vacant	Master Planned Community	Planned Community -Verrado

## **PUBLIC PARTICIPATION SUMMARY:**

6. This proposal would typically be an administratively approved site plan but due to the pre application neighborhood opposition, the request was referred to the Planning and Zoning Commission by the Director. Regardless, this site plan application does not require a public hearing. The applicant was required to send out a “notice of application” to property owners within 300’ of the subject property. In addition to the “notice of application”, the applicant held a neighborhood meeting at Verrado High School, on August 17, 2015. In addition, all residents of Beautiful Arizona Estates, an unincorporated county subdivision located south of the subject parcel, were notified, as well as, property owners within 600 feet of the proposal. Exhibit F contains correspondence of opposition from the neighboring residents received by the City.
7. Letters and emails regarding opposition of the proposal are summarized below:
- Residents requested that the project to be held in a public venue to allow for public comment. In response, the Director referred the site plan from “administrative review” to Planning and Zoning Commission (public meeting) review.
  - Concerns regarding the proposal refer to Exhibit F for all matters of concern. In summary, existing residents are concerned for property values, location of hazardous chemicals, excessive noise and odor, as well as visual and environmental impact.

In response, the applicant has relocated the water station and has addressed other concerns within the text of their narrative. In addition the proposed

booster pump station is for both existing water users in a designated EPCOR water service area and for future residents. Water treatment is a necessary process to provide potable (safe drinking) water; the booster pump station will be designed to meet all applicable codes, i.e. city code, Environmental Protection Agency (EPA) and the State of Arizona Department of Environmental Quality, etc. Staff has worked with the applicant to lessen the visual impact by requiring extensive buffering and screening with walls and landscape. In addition, a native plant inventory and archeological survey will be required prior to any disturbance of the site.

8. **Table 2: Public Notice**

Notification Element	Date
Published in Buckeye Valley News	Not required
Site Posted	Not required
Mailing to Property Owners w/in 600'	August 4, 2015, Notice of Application August 17, 2015, Neighborhood meeting (Not required)

**BACKGROUND:**

9. A03-17 Annexed into the City of Buckeye: Ordinance No. 09-04 February 17, 2004
10. RZ-06-23 Rezoned to Planned Residential: Ordinance No. 47-07 August 7, 2007
11. PLZ-14-00056 Planning case currently in review for PP14-05 Preliminary Plat Canyon Views Subdivision approximately 984 lots.
- \* 12. Planning and Zoning Commission public meeting held on November 24, 2015. Item was continued to December 8, 2015 to discuss emergency action plan for facility.

**ANALYSIS:**

13. Conformance with General Plan:  
The City of Buckeye General Plan designates this property as Medium Density Residential. The existing zoning for the site, Planned Residential, is in concert with the General Plan designation.
14. Zoning  
The property is currently zoned Planned Residential (PR). The proposal is an allowed by right use subject only to a site plan approval. Setbacks are contingent on PR zoning

requirements as stated on the final plat. The property currently does not have a recorded final plat and setback requirements will default to Rural Residential standards as shown below.

**Table 3: Lot Setbacks**

Setback	Requirements for (Rural Residential)	Actual
Front	40 feet (minimum)	474
Back	40 feet (minimum)	450' +
Side	20 feet (minimum)	465
Side (corner lot)	25 feet (minimum)	N/A

15. *Circulation*

Access to the site will be from the existing 195<sup>th</sup> Avenue (Jackrabbit Trail). The temporary access drive easement will extend from the terminus of 195<sup>th</sup> Ave and turns west and north to the site. Future access will be via public right-of-way developed to serve the residents of the proposed subdivision.

16. *Infrastructure*

Water, will be provided through the proposed distribution lines within the proposed facility. Wastewater collection will not be available at this time for this site.

**RECOMMENDATION:**

17. Staff recommends the Planning and Zoning Commission motion for approval with stipulations a – y for PLZ-15-00119 for the following reasons:

- The proposal is a by right use within the existing zoning district and meets all requirements of the Development Code.
  - No outstanding issues from reviewing departments.
  - Concerns expressed from the public have been reasonably addressed.
- a. Development of the property shall be in general conformance with the site plan entitled “EPCOR WATER Agua Fria District Water Plant 15-Zone 3N Booster Pump Station” consisting of seven (7) sheets, dated September 24, 2015 and stamped received September 24, 2015, 2<sup>nd</sup> Submittal, except as modified by the following stipulations.
- b. Development of the property shall be in general conformance to the project narrative report entitled “EPCOR Water Plant 15 Water Infrastructure Improvements

Project No. 53198, Site Plan Narrative 2<sup>nd</sup> Submittal” consisting of seven (7) pages, stamped received September 24, 2015, except as modified by the following stipulations.

- c. All development must be in accordance with the City of Buckeye Development Code, as amended.
- d. A native plant inventory shall be required prior to any development or construction activities. The native plant inventory shall define methods for transplanting materials to a nursery, on-site or off-site, during construction and transplanting back to the site when a landscaping plan is implemented. Formal transplanting guidelines are available from the Planning Division.
- e. In accordance with the Development Code, this Site Plan is valid for a period of two (2) years from its approval date. The Director may grant a one-time extension of 12 months upon written request of the applicant prior to the expiration of the site plan.
- f. The property owner/s and their successor waive any and all claims for diminution in value of the property with regard to any action taken by City of Buckeye as result of this approval.
- g. The Buckeye Fire Chief and City Engineer shall determine the number, location, and types of all fire hydrants.
- h. Prior to delivery of any combustible materials to the site, the fire protection system shall be completely operational, with proper fire flow, and in accordance with the plans approved by the Buckeye Fire Chief and City Engineer.
- i. All building shall be equipped with a fire protection system as required by City of Buckeye Ordinance 37-02.
- j. Provide a “KNOX” box for emergency access.
- k. Address for site needs to be on building or gate plans
- l. Fire suppression will require plans review and Fire Department approval.

- m. All gates require Fire Department “KNOX” boxes: If gate is electric owner to provide plans to Fire Department for review and approval (sec. 503) IFC 2012: (Fire Department emergency access control).
- n. An approved emergency access road will need to be installed, prior to construction.
- o. The following outstanding Engineering comments are to be addressed during the final design phase:
  - 1. The spot elevations around the XFMR, ATS & SES pads appear to be incorrect in comparison to the adjacent contours.
  - 2. Offsite sheet flow drainage will have to be satisfactorily addressed.
  - 3. Site’s Ultimate Outfall – Provide additional clarification as to the exact location of the ultimate outfall and how runoff will drain away from the site based upon the adjacent contours. Documentation of a Drainage Easement will be required with the construction documents.
- p. Final landscaping and irrigation plans, including all lighting improvements, shall be reviewed and approved by the City of Buckeye in conjunction with construction documents.
- q. The Property Owner/Developer shall provide for channelization of off-site storm water that will be intercepted by this project in accordance with a Final Drainage Report as approved by the City Engineer, which shall be submitted along with the first submittal of the improvements plans. In the case where work related to interception of off-site storm water is required on adjacent parcels of land not controlled by the Property Owner/Developer, the Property Owner/Developer shall first obtain a drainage easement from the adjacent parcel owners. When required, said easement shall include an acknowledgment by the adjacent parcel owner(s) that historic drainage discharge points may be altered. Said drainage easements shall be executed and submitted to the City prior to approval of the Grading Plans and shall be recorded.
- r. Prior to improvement plan approval, the Property Owner/Developer shall obtain approval from the applicable utility interests for easement location and width as required for utility purposes.

- s. At the time of improvement plan submittal, the Property Owner/Developer shall provide a comprehensive Drainage Report, which addresses all on-site and off-site drainage requirements and issues.
- t. The City Engineer shall approve all engineering and construction plans and reports for the required infrastructure for the project.
- u. All existing overhead power lines less than 69 kV capacity, or any other overhead utilities within the project area or along its boundaries, shall be installed underground.
- v. The Applicant will submit an electronic CAD and GIS file with full construction documents of the development to the City Engineer, Public Works Department, and GIS Administrator in order to maintain current street records and assist in emergency dispatch and response.
- w. Pavement sections for all streets shall be determined in accordance with a City Engineer-approved geotechnical analysis, but shall not be less than the City's minimum requirements.
- x. All existing irrigation facilities located on the site shall be abandoned, relocated off the property, or installed underground. Any District-owned facilities to be located within the right-of-way shall be located near the rear of the right-of-way and the right-of-way shall be extended at least five (5) feet. Any additional right-of-way for District-owned facilities (not to exceed five feet) can be de-deducted from the depth of the perimeter landscape tracts.
- y. The Property Owner/Developer is responsible for providing water at the project for construction purposes including obtaining the necessary water rights for the water supply to be used for construction purposes.

#### **EXHIBITS**

Exhibit A	Vicinity Map (Aerial Photo)
Exhibit B	General Plan Land Use Map
Exhibit C	Zoning Map
Exhibit D	Site Plan (Landscape, drainage and Architectural drawings)
Exhibit E	Narrative
Exhibit F	Letters of Opposition



Prepared By:  
Andrea M. Marquez, Planner II

Reviewed By:  
Terri Hogan, AICP, Planning Manager

## Vicinity Map



Exhibit A



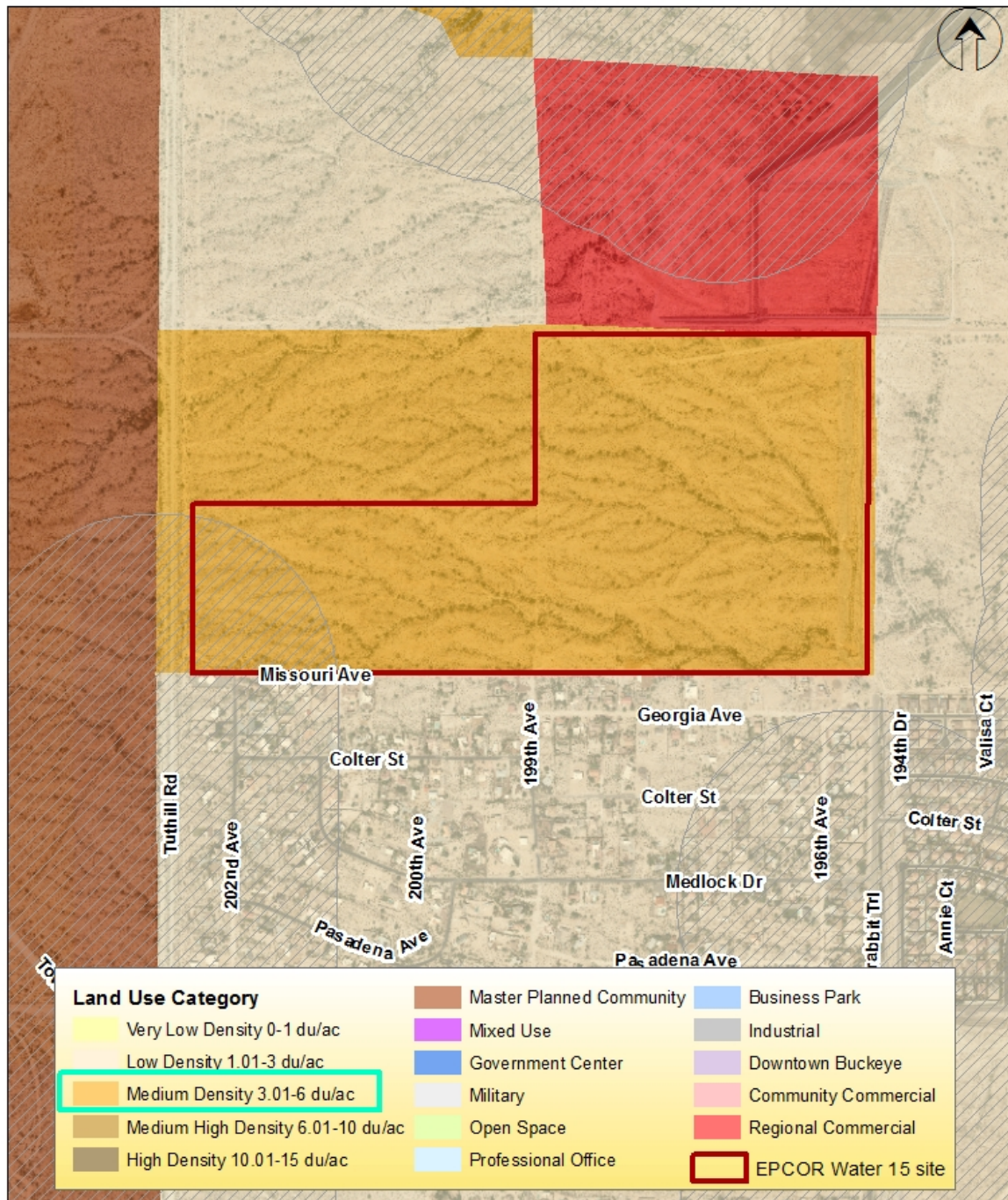
Case:SP15-06 (PLZ-15-00119)  
Title: EPCOR WATER (15) Zone 3 North



# Land Use



Exhibit B



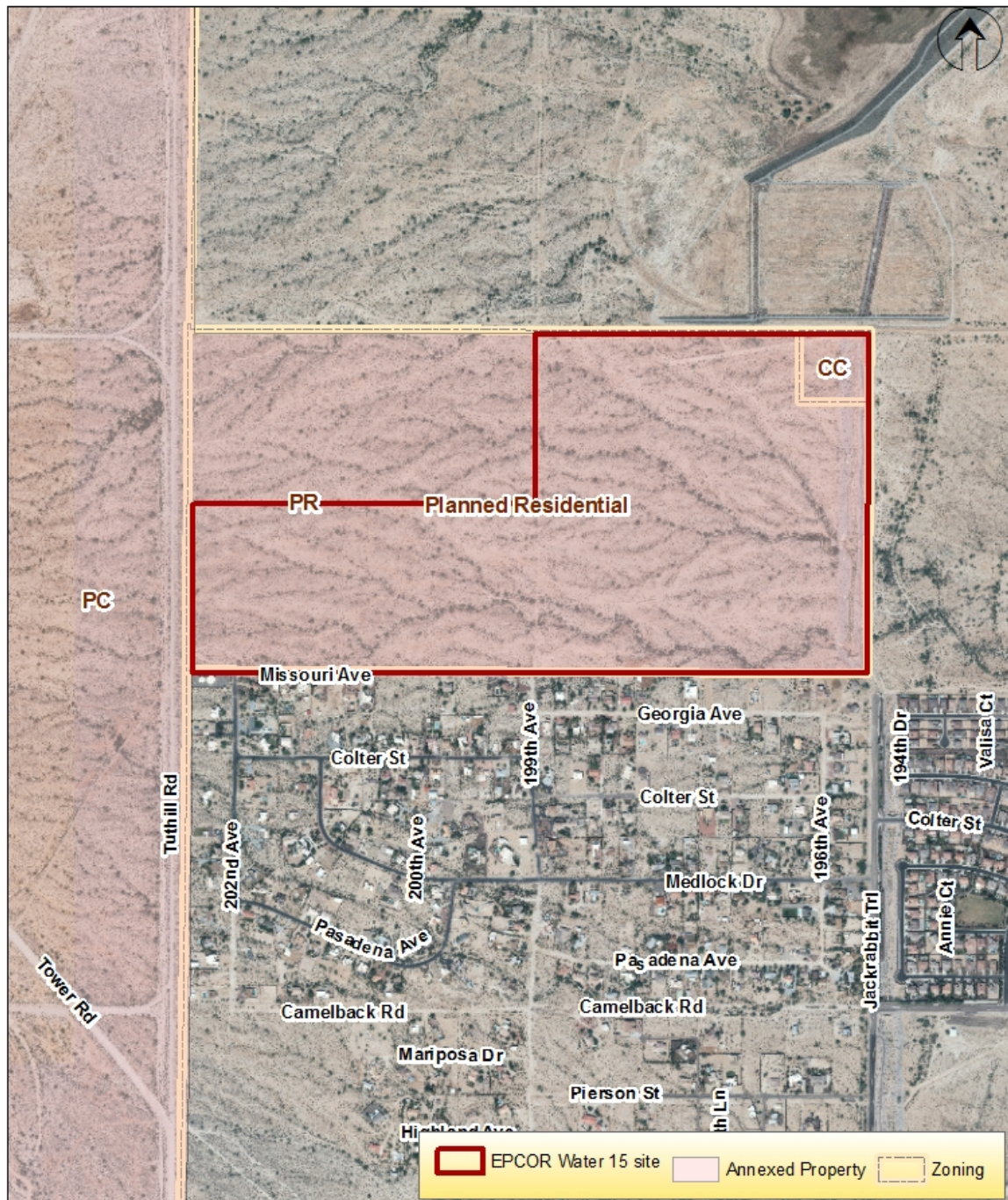
Case:SP15-06 (PLZ-15-00119)  
Title: EPCOR WATER (15) Zone 3 North



# Zoning



Exhibit C



Case:SP15-06 (PLZ-15-00119)  
Title: EPCOR WATER (15) Zone 3 North

EXHIBIT D

SITE PLAN

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EPCOR WATER  
AGUA FRIA DISTRICT  
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION

SITE PLAN REVIEW

A PORTION OF SECTION 17, TOWNSHIP 2 NORTH, RANGE 2 WEST  
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,  
MARICOPA COUNTY, ARIZONA.

SHEET INDEX

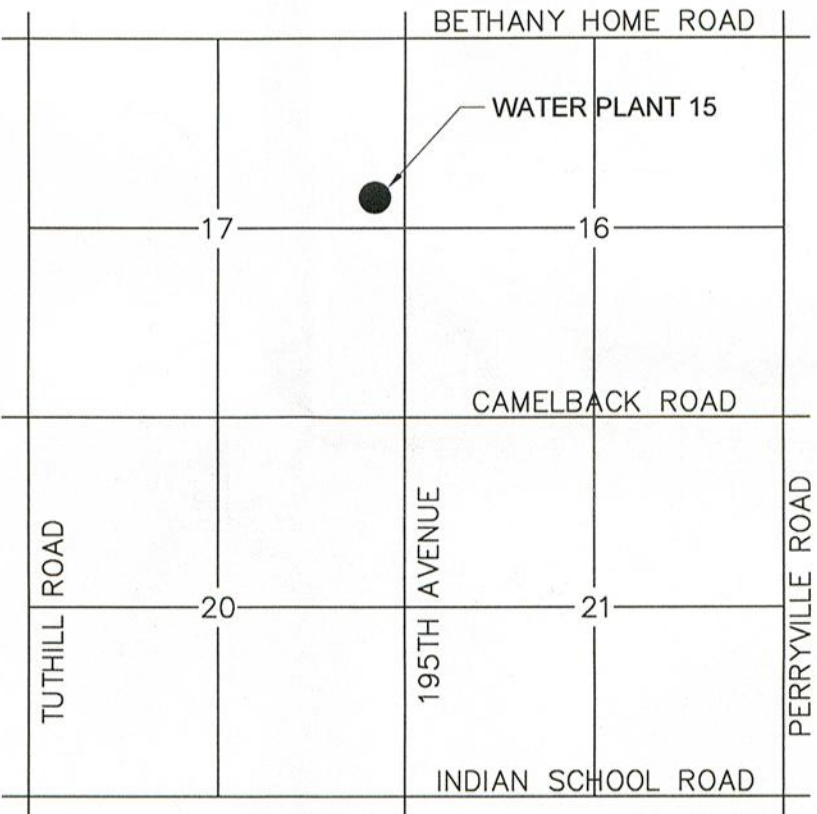
1. COVER
2. AREA MAP
3. OVERALL FACILITIES
4. SITE PLAN
5. CONCEPTUAL GRADING AND DRAINAGE
6. CONCEPTUAL LANDSCAPE LAYOUT
7. ARCHITECTURAL ELEVATION VIEWS

GENERAL NOTES

1. ALL SETBACKS SHALL CONFORM TO CITY OF BUCKEYE REQUIREMENTS AS NOTED IN THE CITY DEVELOPMENT CODE DATE DECEMBER 5, 2013.
2. LIGHTING WILL COMPLY WITH CITY OF BUCKEYE STANDARDS
3. SETBACKS WILL COMPLY WITH CANYON VIEWS FINAL PLATT.

6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36

VICINITY MAP  
TOWNSHIP 2N RANGE 2W



LOCATION MAP  
TOWNSHIP 2N RANGE 2W

FEMA FLOOD ZONE INFORMATION

COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEV. (IN AO ZONE, USE DEPTH)
040039	1965 -	L	10/16/2013	X	N/A

ALL FLOOD ZONES ARE SHOWN IN THIS PLAN SET.

THE MARICOPA COUNTY, ARIZONA AND INCORPORATED AREAS FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 04013C1665L, DATED OCTOBER 16, 2013 INDICATES THE SITE FALLS WITHIN ZONE X.

ZONE X IS DEFINED BY FEMA AND PER THE FIRM PANEL AS FOLLOWS: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

OWNER

COMPANY: KLONDIKE LAND PORTFOLIOS, LLC  
C/O DEVELOPMENT SERVICES DEPARTMENT  
CONTACT: DAVID HENRY - PROJECT MANAGER  
ADDRESS: 530 EAST MONROE AVE  
BUCKEYE, AZ 85326  
PHONE NUMBER: (480) 800-7994  
EMAIL ADDRESS: DHENRY@SWVP.COM

APPLICANT

COMPANY: EPCOR WATER ARIZONA, AGUA FRIA DISTRICT  
CONTACT: TRAVIS NUTTALL, P.E. - SENIOR PROJECT MANAGER  
ADDRESS: 2355 W. PINNACLE PEAK, SUITE 300  
PHOENIX, AZ 85027  
PHONE NUMBER: (623) 445-2437  
FAX NUMBER: (623) 587-1044  
EMAIL ADDRESS: TNUTTALL@EPCOR.COM

ENGINEER

COMPANY: BURGESS & NIPLE, INC.  
CONTACT: TRACY A. GRUNDEN - SENIOR PROJECT MANAGER  
ADDRESS: 1500 N. PRIEST DR., SUITE 101  
TEMPE, AZ 85281  
PHONE NUMBER: (602) 244-8100 EXT. 5326  
FAX NUMBER: (602) 244-1915  
EMAIL ADDRESS: TRACY.GRUNDEN@BURGESSNIPLE.COM

BASIS OF BEARING

ALL COORDINATES AND ELEVATIONS ARE BASED ON THE MARICOPA COUNTY GDACS RECORD INFORMATION.

THE BASIS OF BEARING FOR THE EPCOR WATERLINE PROJECT IS THE EAST LINE OF THE SOUTHEAST ¼ OF SECTION 17, TOWNSHIP 2 N., RANGE 2 W.

THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 2 N., RANGE 2 W., BEING A FOUND MCDOT BRASS CAP, FLUSH WITH PAVEMENT, AND THE EAST ¼ CORNER OF SECTION 17 TOWNSHIP 2 N., RANGE 2 W., BEING A FOUND MCDOT BRASS CAP IN HANDHOLD, BEING N 00°23'47" W, A DISTANCE OF 2625.24 FEET.

BENCH MARK

THE BENCH MARK FOR THIS SITE IS THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 2 N., RANGE 2 W., BEING A FOUND MCDOT BRASS CAP, FLUSH WITH PAVEMENT, AND HAVING AN ELEVATION OF 1186.38 FEET.

RECEIVED

SEP 24 2015  
CITY OF BUCKEYE by:   
ENGINEERING

2nd Submittal



MANAGING ENGINEERING / SURVEYOR BURGESS & NIPLE, INC. 1500 N. PRIEST DR. STE 101 TEMPE, AZ 85281		PROJECT COORDINATOR BURGESS & NIPLE, INC. 1500 N. PRIEST DR. STE 101 TEMPE, AZ 85281		DESIGN LAYOUT BURGESS & NIPLE, INC. 1500 N. PRIEST DR. STE 101 TEMPE, AZ 85281		CHECKED TAG RNC	
JOB NO: PR53198		DESIGNED BY: EVB		DRAWN BY: BDB		CHECKED TAG RNC	
BURGESS & NIPLE, INC. 1500 N. PRIEST DR. STE 101 TEMPE, AZ 85281		BURGESS & NIPLE, INC. 1500 N. PRIEST DR. STE 101 TEMPE, AZ 85281		WILSON & COMPANY 410 N 44TH ST. STE 460 PHOENIX, AZ 85008		TAG BDB RNC	
APPROVED BY: RNC		DATE: -		SCALE: AS NOTED		AS NOTED	

PLAN TYPE WATER PLANS	ENGINEER INFORMATION BURGESS & NIPLE, INC. 1500 N. PRIEST DR. STE 101 TEMPE, AZ 85281
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PROJECT: EPCOR WATER ARIZONA, AGUA FRIA DISTRICT WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION	COB PROJECT PLAN STICKER PLZ-15-00119 EPCOR Water/Verrado Water Infrastructure Water Plant 15 Site Plan Submittal Package 2R - FOR REVIEW - FILE COPY
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REVISIONS:	
1	
2	
3	

COB PERMITTING APPROVED SEAL	COB ENGINEERING APPROVED SEAL	SUBMITTAL: SITE PLAN 2 <sup>ND</sup> REVIEW
AS-BUILT SEAL	DESIGN SEAL	

ORIGINAL PLAN DATE -	DRAWING NUMBER COVER
PROJECT NUMBER PR53198	SHEET NUMBER 01 OF 07

COB PLAN TRACKING # -BLZ-15-00119
--------------------------------------







- FUTURE CANYON VIEWS -

LANDSCAPE EASEMENT  
TEMPORARY EASEMENT WEST AND SOUTH  
OF SITE TO BE TERMINATED ONCE CANYON  
VIEWS SUBDIVISION PLAT IS APPROVED

PUMP STATION EASEMENT  
TEMPORARY EASEMENT TO BE  
TERMINATED ONCE CANYON  
VIEWS SUBDIVISION PLAT IS  
APPROVED, AT WHICH TIME THE  
BOOSTER STATION PROPERTY  
WILL BE DEEDED OR SOLD TO  
EPCOR WATER

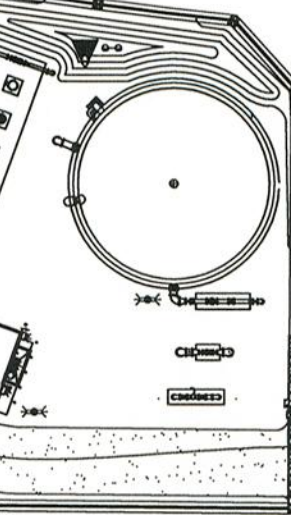
WATER PLANT 15

TEMPORARY ACCESS DRIVE

502-28-010J  
KLONDIKE LAND  
PORTFOLIO, LLC

ACCESS EASEMENT  
TEMPORARY EASEMENT TO BE TERMINATED ONCE CANYON  
VIEWS SUBDIVISION PLAT IS APPROVED, AT WHICH TIME  
ACCESS WILL BE WITHIN PUBLIC RIGHTS-OF-WAY

MIDSECTION LINE  
SECTION 17



R=31'

R=130'

R=105'

R=66'

R=44'

474' ±

465' ±

EASTERN SECTION LINE  
SECTION 17

FCDMC EASEMENT

EXIST FCDMC  
DRAINAGE CHANNEL

LOCKING GATE TO PREVENT  
UNAUTHORIZED ACCESS TO  
PRIVATE DRIVEWAY.  
PROVIDE FIRE DEPARTMENT  
KNOX BOX

502-28-001K  
MARICOPA  
COUNTY  
MUNICIPAL WATER  
CONSERVATION  
DISTRICT

FLOOD CONTROL  
DISTRICT OF MARICOPA  
COUNTY

APPROXIMATE  
END OF  
PAVEMENT FOR  
195TH AVENUE

502-28-001J

502-28-581  
FLOOD CONTROL DISTRICT  
OF MARICOPA COUNTY

- BEAUTIFUL ARIZONA ESTATES -

OVERALL FACILITIES

SCALE: 1" = 60'

GENERAL NOTES

1. TEMPORARY ACCESS DRIVEWAY SHALL HAVE A MINIMUM WIDTH OF 20-FEET AND SHALL BE ASPHALTIC CONCRETE, A PENETRATION TREATMENT OF BITUMINOUS MATERIAL AND SEAL COAT OF BITUMINOUS BINDER AND A MINERAL AGGREGATE, OR A STABILIZATION METHOD APPROVED BY THE CODE COMPLIANCE OFFICER
2. WALL MOUNT AND AREA LIGHTS SHALL BE DARK SKY COMPLIANT

OWNERS WITHIN 300' OF SITE

1. KLONDIKE LAND PORTFOLIO, LLC



REVISIONS:

- 1
- 2
- 3

EPCOR WATER  
AGUA FRIA DISTRICT  
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION

OVERALL FACILITIES

ENGINEER INFORMATION  
BURGESS & NIPL, INC.  
1500 N. PRIEST DR. STE 101  
TEMPE, AZ 85281

JOB NO: PR53198  
DESIGNED BY: EVB  
DRAWN BY: BOB  
CHECKED BY: EVB  
APPROVED BY: RNC  
DATE: AS NOTED  
SCALE: AS NOTED

COB PERMITTING  
APPROVED SEAL

COB ENGINEERING  
APPROVED SEAL

AS-BUILT SEAL

DESIGN SEAL

ORIGINAL PLAN DATE

DRAWING NUMBER

PROJECT NUMBER

SHEET NUMBER

PR53198

03 OF 07

SUBMITTAL  
SITE PLAN 2ND  
REVIEW

COB PLAN TRACKING #  
COB PERMIT #



P:\PR63198\cadd\civil\2.1-WP15 New Location\4 Site Plan Review - Site Plan.dwg 9/23/2015 5:51:49 PM Haun, Adam

STRUCTURE HEIGHTS AND FINISHED FLOORS		
STRUCTURE	HEIGHT	FINISHED FLOOR
GENERATOR	9' - 6"	1197.50
OPERATIONS	15' - 10"	1198.50
SUCTION TANK	20' - 1"	1195.75
PUMP GALLERY		1196.50
HYDRO TANK	8' - 6"	1197.50

PROPERTY CORNER COORDINATES		
	NORTHING	EASTING
1	916139.04	528052.34
2	916154.86	528077.11
3	916136.97	528198.55
4	916114.33	528219.08
5	915981.02	528217.97
6	915981.82	528120.96
7	916018.59	528020.15

PROPOSED INTENSITY	
WATER PLANT	

SITE DIMENSIONS	
SQUARE FOOTAGE	ACREAGE
31554.12	0.72±

SITE INFORMATION		
LOT	SQUARE FOOTAGE	PERCENTAGE
SITE	31554.12	100%
PAVING	27936.64	88.54%
OPEN	3990.50	12.65%
COVERAGE		
MAX COVERAGE		

STRUCTURES		
STRUCTURE	QUANTITY	SQUARE FOOTAGE
FLOODED SUCTION TANK	1	3117
OPERATIONS BUILDING	1	1360

## GENERAL NOTES

- FOR SITE GRADING, DRAINAGE AND PAVING, SEE SHEET 5
- SITE IS A UTILITY FACILITY, MINOR - PARKING NOT REQUIRED
- WALL MOUNT AND AREA LIGHTS SHALL BE DARK SKY COMPLIANT
- EPCOR DOES NOT PROVIDE OR UTILIZE RECEPTACLES FOR REFUSE AT ITS BOOSTER PUMP STATION SITES AND WILL NOT REQUIRE TRASH SERVICE AT THIS SITE.

## OWNER

EPCOR WATER  
2355 W. PINNACLE PEAK ROAD  
SUITE 300  
623-445-2437

LAND USE	
Location	Land Use
Site	Planned Residential
North	Planned Residential
South	Planned Residential
East	Planned Residential
West	Planned Residential

POLE MOUNTED AREA LIGHT  
LITHONIA DSX2 LED 80C 1000 40K T3M MVOLT  
SSC HEIGHT SHALL NOT EXCEED RESIDENTIAL  
HEIGHT STANDARDS. 275 WATTS.

WALL MOUNT LED TYPE DARK SKY COMPLIANT  
WALL PAK - LITHONIA DSXW1-LED-20C-700-  
40K-T3M 47 WATTS

DRY WELL

## WALL LEGEND

THEME WALL  
CMU WALL



## REVISIONS:

- 
- 
- 

EPCOR WATER  
AGUA FRIA DISTRICT  
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION

## SITE PLAN

ENGINEER INFORMATION  
BURGESS & NIPILE, INC.  
1500 N. PRIEST DR. STE 101  
TEMPE, AZ 85281

JOB NO. PR53198  
DESIGNED BY: EVB  
DRAWN BY: BDB  
CHECKED BY: EVB  
APPROVED BY: TAG  
DATE: RNC  
SCALE: AS NOTED

COB PERMITTING  
APPROVED SEAL

COB ENGINEERING  
APPROVED SEAL

AS-BUILT SEAL

DESIGN SEAL

ORIGINAL PLAN DATE

DRAWING NUMBER

PROJECT NUMBER  
PR53198

SHEET NUMBER  
04 OF 07

SUBMITTAL  
SITE PLAN 2ND  
REVIEW

COB PLAN TRACKING #

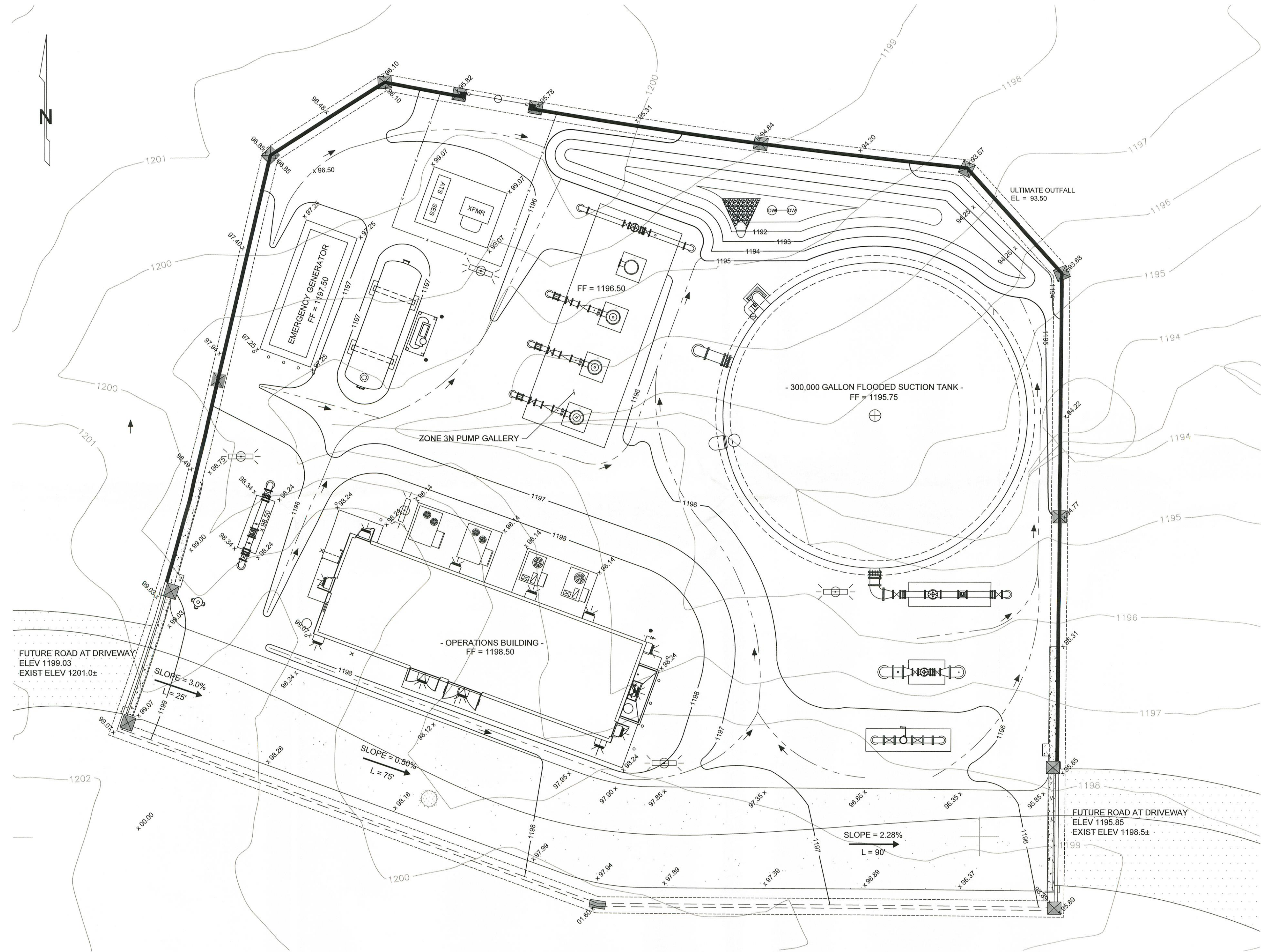
COB PERMIT #

## SITE PLAN

SCALE: 1" = 10'



P:\P653198\cadd\civil\2.1-WP15 New Location\6 Site Plan Review - Grading, Drainage, and Paving Plan.dwg 9/23/2015 12:49:44 PM Haun, Adam



## GENERAL NOTES

1. THE MARICOPA COUNTY, ARIZONA AND INCORPORATED AREAS FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 04013C1665L, DATED OCTOBER 16, 2013 INDICATES THE SITE FALLS WITHIN ZONE X.
2. ZONE X IS DEFINED BY FEMA AND PER THE FIRM PANEL AS FOLLOWS: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
3. ALL FINISH FLOOR ELEVATIONS ARE A MINIMUM OF (1) FOOT ABOVE THE 100-YEAR STORM WATER SURFACE ELEVATION.
4. OFFSITE DRAINAGE WILL BE ROUTED AROUND THE SITE. A DRAINAGE REPORT WILL BE SUBMITTED FOR THE DESIGN.

## LEGEND

x 96.37 PROPOSED GRADE SPOT ELEVATION

— PROPOSED CONTOUR  
— EXISTING CONTOUR  
--- DRAINAGE FLOW LINE

## WALL LEGEND

— THEME WALL  
--- CMU WALL



## REVISIONS:

- 1
- 2
- 3

EPCOR WATER  
AGUA FRIA DISTRICT  
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION

## GRADING AND DRAINAGE

ENGINEER INFORMATION  
BURGESS & NIPIE, INC.  
1500 N. PRIEST DR. STE 101  
TEMPE, AZ 85281

JOB NO. PRS3198  
DESIGNED BY: EYB  
DRAWN BY: BDB  
CHECKED BY: TAG  
APPROVED BY: RNC  
DATE: 09/23/2015  
SCALE: AS NOTED

COB PERMITTING  
APPROVED SEAL

COB ENGINEERING  
APPROVED SEAL

CONCEPT

CONCEPT

AS-BUILT SEAL

DESIGN SEAL

ORIGINAL PLAN DATE

DRAWING NUMBER

PROJECT NUMBER  
PRS3198

SHEET NUMBER  
05 OF 07

SUBMITTAL  
SITE PLAN 2<sup>ND</sup>  
REVIEW

COB PLAN TRACKING #  
COB PERMIT #

## GRADING, DRAINAGE, AND PAVING PLAN

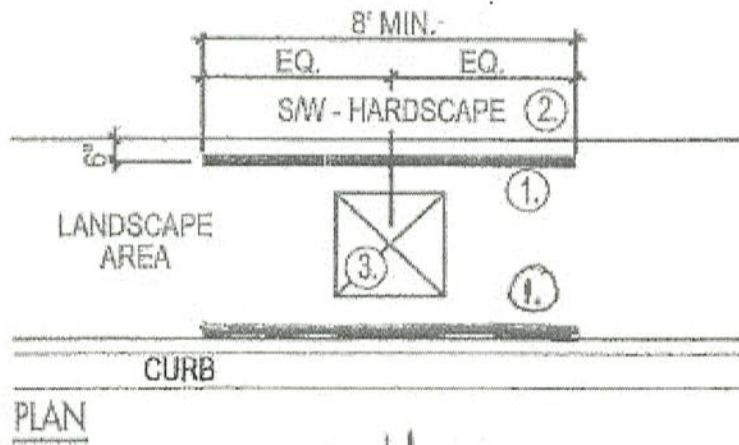
SCALE: 1" = 10'



LANDSCAPE EASEMENT  
TEMPORARY EASEMENT WEST AND SOUTH  
OF SITE TO BE TERMINATED ONCE CANYON  
VIEWS SUBDIVISION PLAT IS APPROVED

GENERAL NOTES:

TREE BARRIERS ARE REQUIRED FOR ALL TREES ALONG PARKWAYS, LANDSCAPE ISLANDS, UNDERGROUND UTILITIES AND NARROW PLANTING AREAS THAT NECESSITATE TREE LOCATIONS WITHIN 5' OF WALLS, WALKS, OR CURBS.

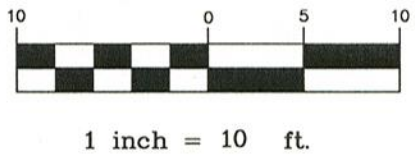
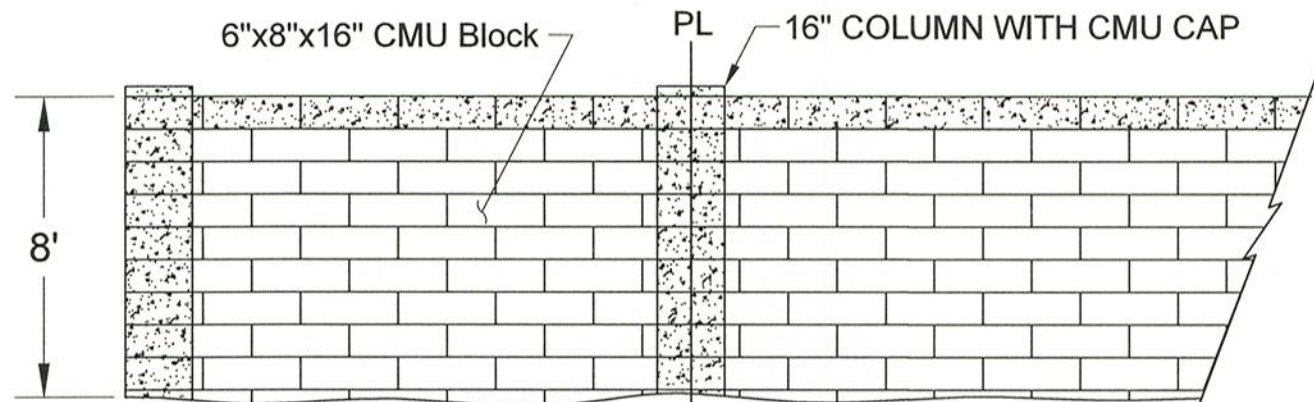


NOTES:

- 24" DEEP - 8' LONG 'DEEP ROOT' MOLDED PANELS. TOP BURIED 1" BELOW SUB GRADE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- ADJACENT HARDSCAPE TO PROTECT.
- TREE ROOTBALL TO REST ON UNDISTURBED SOIL.
- AMENDED BACKFILL. REFER TO DETAIL A FOR TYPE.
- NATIVE SOIL.

ROOT BARRIER:  
MANUFACTURER: DEEP ROOT  
MODEL: #UB-24-2  
(OR APPROVED EQUAL)  
SIZE: 24" DEEP x 24" WIDE

TREE BARRIER  
SCALE: NTS



GENERAL NOTES

- OPERATIONS BUILDING SHALL BE CMU WALL WITH STANDING SEAM METAL ROOF
- FENCE SHALL BE CMU WALL AND THEME WALLS IN CONFORMANCE WITH CANYON VIEWS WALL THEME. PAINT COLORS ARE:  
SITE AND OPS BUILDING - WOODEN PEG  
SITE WALLS TOP COURSE SPLIT/FACE - ROADRUNNER BROWN  
SITE WALL PRECAST CONCRETE CAP - WOODEN PEG (LRV 31)  
TANK - WOODEN PEG (LRV 31)
- WALL DROPS, WHEN UTILIZED, SHALL CONSIST OF 1 OR 3 COURSE DROPS SPACED AT 1/3 INTERVALS.

PRELIMINARY PLANT PALETTE

BOTANIC NAME	COMMON NAME
TREES	
DALBERGIA SISSOO	SISSOO (INDIAN ROSEWOOD)
PROSOPIS	MESQUITE

LANDSCAPING NOTES

- TREES SHALL BE SPACED AT APPROXIMATELY 12- FEET AND SHALL ALTERNATE BETWEEN DALBERGIA SISSOO (INDIAN ROSEWOOD) AND PROSOPIS (MESQUITE).
- CONCEPTS ARE PRELIMINARY AND FOR ILLUSTRATIVE PURPOSES ONLY.
- RELOCATE EXISTING SAGUARO CACTI PER ARIZONA DEPARTMENT OF AGRICULTURE PROCEDURES FOR REMOVING AND TRANSPORTING A PROTECTED NATIVE PLANT.
- TREES WILL BE IRRIGATED AS NEEDED UNTIL CANYON VIEWS DEVELOPS, AT WHICH TIME THE HOMEOWNERS ASSOCIATION WILL ASSUME RESPONSIBILITY FOR IRRIGATION

WALL LEGEND

- x PROPOSED TOP OF THE WALL ELEVATION
- THEME WALL
- CMU WALL



REVISIONS:

- 1
- 2
- 3

EPCOR WATER  
AGUA FRIA DISTRICT  
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION

CONCEPTUAL LANDSCAPE LAYOUT

ENGINEER INFORMATION  
BURGESS & NIPL, INC.  
1500 N. PRIEST DR. STE 101  
TEMPE, AZ 85281

COB PERMITTING  
APPROVED SEAL

COB ENGINEERING  
APPROVED SEAL

AS-BUILT SEAL

DESIGN SEAL

ORIGINAL PLAN DATE

DRAWING NUMBER

PROJECT NUMBER

SHEET NUMBER

PR53198

06 OF 07

SUBMITTAL:  
SITE PLAN 2ND  
REVIEW

COB PLAN TRACKING #

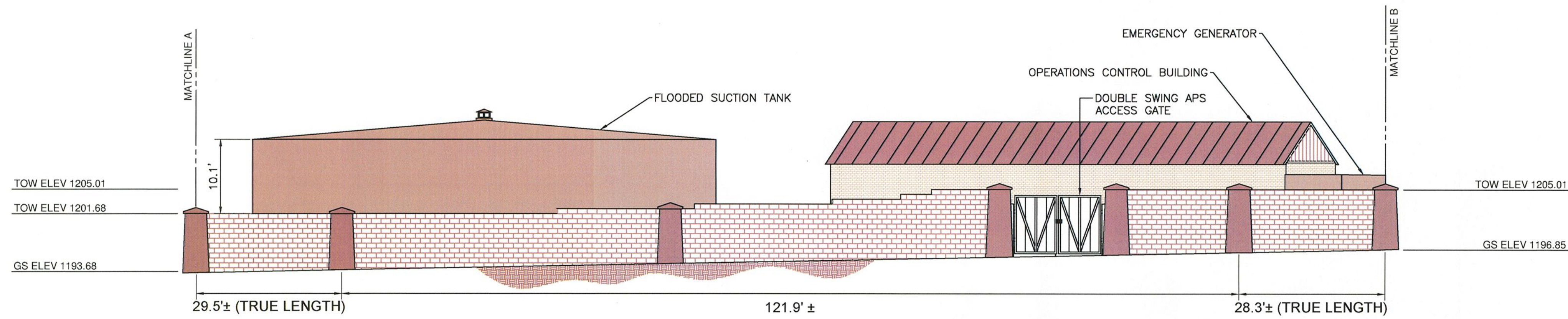
COB PERMIT #

LANDSCAPE EASEMENT  
TEMPORARY EASEMENT WEST AND SOUTH  
OF SITE TO BE TERMINATED ONCE CANYON  
VIEWS SUBDIVISION PLATT IS  
APPROVED

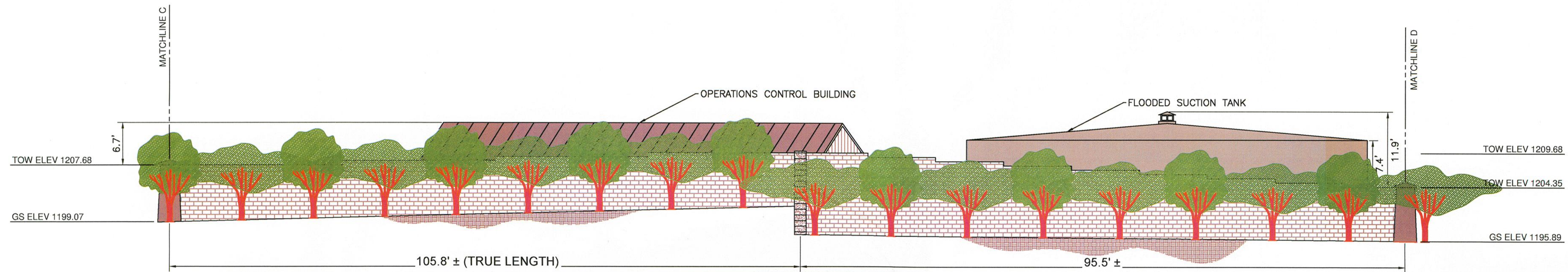
CONCEPTUAL LANDSCAPE LAYOUT

SCALE: 1" = 10'

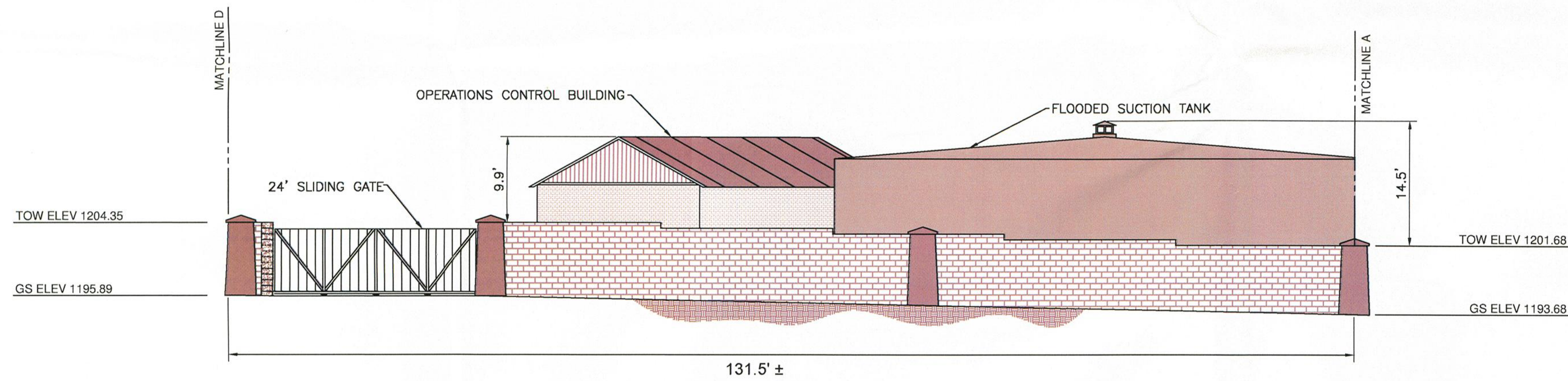




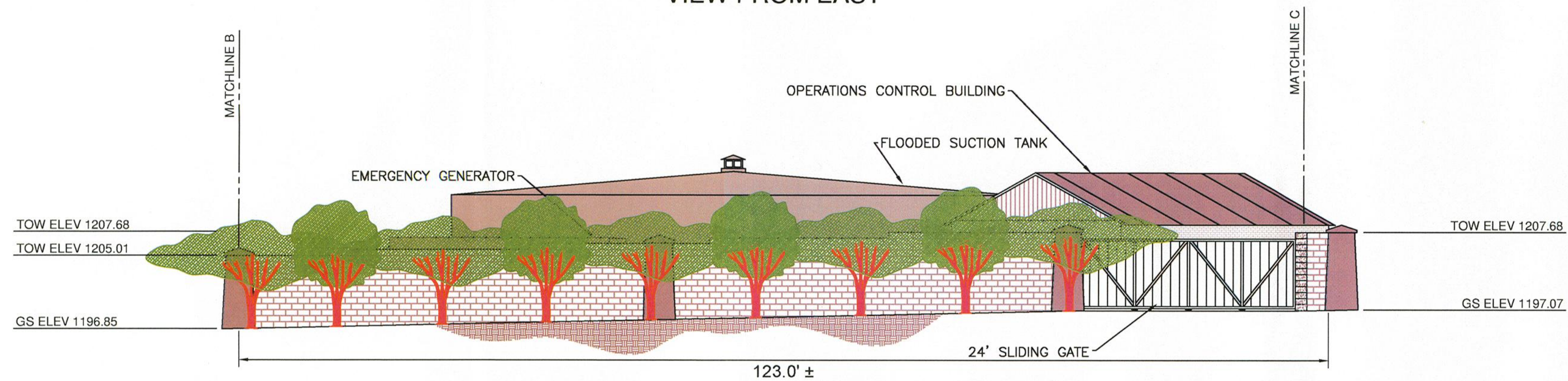
VIEW FROM NORTH



VIEW FROM SOUTH



VIEW FROM EAST



VIEW FROM WEST

WP 15 ELEVATION VIEWS  
SCALE: 1" = 10'

# GENERAL NOTES

- OPERATIONS BUILDING SHALL BE CMU WALL WITH STANDING SEAM METAL ROOF
- FENCE SHALL BE CMU WALL AND THEME WALLS IN CONFORMANCE WITH CANYON VIEWS WALL THEME  
PAINT COLORS ARE:  
SITE AND OPS BUILDING - WOODEN PEG  
SITE WALLS TOP COURSE SPLIT/FACE - ROADRUNNER BROWN  
SITE WALL PRECAST CONCRETE CAP - WOODEN PEG (LRV 31)  
TANK - WOODEN PEG (LRV 31)



## REVISIONS:

- 1
- 2
- 3

EPCOR WATER  
AGUA FRIA DISTRICT  
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION

## ARCHITECTURAL ELEVATION VIEWS

ENGINEER INFORMATION BURGESS & NIPLE, INC. 1500 N. PRIEST DR. STE 101 TEMPE, AZ 85281		JOB NO. PR53198 DESIGNED BY: EVB DRAWN BY: BOB CHECKED BY: TAC APPROVED BY: RNC DATE: 1/1/2015 SCALE: AS NOTED	SUBMITTAL: SITE PLAN 2 <sup>ND</sup> REVIEW
COB PERMITTING APPROVED SEAL	COB ENGINEERING APPROVED SEAL		
AS-BUILT SEAL	DESIGN SEAL		
ORIGINAL PLAN DATE	DRAWING NUMBER		
PROJECT NUMBER PR53198	SHEET NUMBER 07 OF 07		COB PLAN TRACKING # COB PERMIT #



EXHIBIT E

NARRATIVE

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PLZ-15-00119

EPCOR Water Plant 15  
Water Infrastructure Improvements  
Project No. 53198

Site Plan Narrative  
2<sup>ND</sup> Submittal

Prepared For  
The City of Buckeye Arizona

CITY OF BUCKEYE  
COPY


RECEIVED

SEP 24 2015

CITY OF BUCKEYE by:   
ENGINEERING

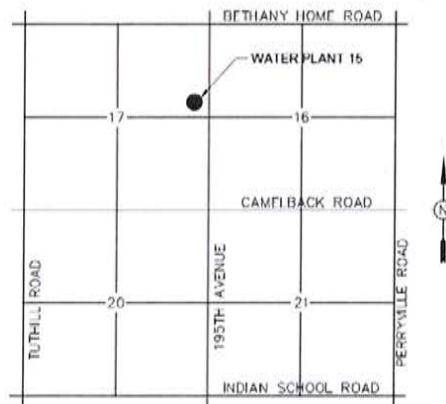
2nd Submittal

6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36



VICINITY MAP

TOWNSHIP 2N RANGE 2W



LOCATION MAP

TOWNSHIP 2N RANGE 2W

## **1.0 DESCRIPTION OF REQUEST**

The purpose of this application is to request approval of a site plan for the EPCOR Water Arizona Inc. (EPCOR) proposed Agua Fria Water Plant 15 Zone 3 North Booster Pump Station (WP 15 or Water Facility). The Water Facility site is 0.72 acres and will be located approximately 464 feet north and 474 feet west of the intersection of Missouri Avenue and 195th Avenue. WP 15 is located within the interior of a 320-acre property, which is owned by Klondike Land Portfolios, LLC (Klondike) and which is being planned as the Canyon Views residential neighborhoods (Canyon Views Property or Klondike Property). At this time, the property is undeveloped. Klondike is currently working with the City of Buckeye (City) on the subdivision of this property. EPCOR is the applicant for this request and will be developing the proposed Water Facility.

## **2.0 BACKGROUND**

EPCOR is a private, regulated utility providing water service to approximately 94,000 customers through approximately 41,000 service connections in its Agua Fria water district. The intent of the proposed Water Facility, which will be located within the Agua Fria water district, is to extend water availability to residents within the EPCOR water service area including residents in the Verrado Master Planned Community and the future Canyon Views community. In order to keep pace with anticipated growth, it is necessary to expand on the existing facilities and construct a new potable water booster pump station and associated distribution mains.

EPCOR has retained the professional engineering services of Burgess & Niple, Inc. (B&N) to prepare detailed drawings and specifications for the design of WP 15, which includes a new booster pump station, flooded suction tank and approximately 14,800 linear feet of 24-inch pipeline. The Water Facility will be located near the northerly terminus of 195th Avenue as seen in the accompanying site plan.

EPCOR's water distribution plan is based on pressure zones. Pressure zones typically receive flow and are pressurized from storage tanks at an upper elevation of the zone. These tanks are normally filled by booster pump stations located at a lower elevation of the zone. Within this area of the EPCOR Agua Fria district is an existing 24-inch transmission main in Camelback Road that is fed from EPCOR's White Tanks Regional Water Treatment Plant (located at 18736 W. Cactus Road) or, depending on the time of the year, from wells that are owned and operated by EPCOR. These sources deliver water to the Verrado system via an existing Water Plant 9 (WP 9) booster pump facility located in EPCOR's Zone 3 South (Z3S), and they will be augmented by the proposed booster pumps for Zone 3 North (Z3N) located at WP 15. These two Zone 3 water plants will supply water to the entire Verrado system and meet the adjacent system demands of Sienna Hills and Canyon Views by pumping and maintaining the hydraulic grade line (HGL) of the Zone 3 storage reservoirs at 1,420 feet.

## **3.0 WATER PLANT DESIGN AND LANDSCAPING**

### **Scope**

WP 15 is located within the boundaries of the future Canyon Views development, and will draw water from the existing 24-inch water transmission main located at the intersection of Camelback Road and 195<sup>th</sup> Avenue as noted above.



## Site Facilities

WP 15 will be screened with an eight (8) foot masonry wall. Within the confines of the perimeter wall are typical components found within a water booster pump facility. Below is a description of the primary components to be constructed within WP 15:

### Operations Building

The Operations Building will house the chemical storage, chemical feed equipment and the electrical equipment. The chemical and electrical components will be in separate rooms that are climate controlled with separate HVAC systems. Within this building, the electrical room will have a waterless fire suppression system and the chemical room will be protected with a traditional water sprinkler system. The Operations Building will be masonry wall construction with a standing seam metal roof. This building will be approximately 1,500 square feet.

### Flooded Suction Tank

The Flooded Suction Tank (FST) will have a capacity of 300,000 gallons and be constructed of steel with a side water depth of approximately 16 feet. The tank will include epoxy lining, cathodic protection, exterior painting and standard appurtenances such as a roof hatch and vent, man-ways, overflow pipe with in-line security protection, interior and exterior ladder equipped with a flexible cable fall prevention system, exterior story board and roof walkway with safety hand-railing in compliance with OSHA standards. As needed, the tank will drain to the new on-site retention basin.

### Hydropneumatic Surge Tank System

The Hydropneumatic Surge Tank System will include a hydropneumatic tank, which has been sized at 10,000 gallons, air compressor and control panel. The tank will be installed on the discharge header for surge protection.

### Metering and Flow Control

The measurement and control of flow through the site will be accomplished with a flow meter, control valves and pressure reducing valves.

### Pump Gallery

The pump gallery will be comprised of vertical turbine pumps with variable frequency drives for a total build-out of four vertical turbine pumps. Initial construction will consist of three pumps. One pump will serve as a backup while the remaining pumps provide flow. The gallery will also include isolation and check valves.

### APS Service

Electrical power to the site will be provided by APS. The service location will be sized and separately gated as required by APS.

### Emergency Generator

The emergency generator will be a diesel engine driven unit sized to provide power for operations in the event of a power loss or interruption. The generator will be equipped with sound attenuation.

### Rechlorination

EPCOR has chosen to utilize 12.5% sodium hypochlorite ( $\text{NaClO}$ ) at WP 15 for rechlorination. Sodium hypochlorite, which is commonly called liquid bleach, is a colorless to pale yellow liquid that is



inflammable. While household bleach is approximately a 5% concentration, a 12.5% concentration is a commonly utilized by public and private water providers throughout Arizona. The chemical storage tanks in the Operations Building are sized to hold 30 days of average demand – approximately 1,700 gallons. The chemical room within the Operations Building will have secondary containment that can contain the entire volume of the chemical storage tank in the unlikely event of a rupture.

### **Landscaping**

Additional screening will be installed along the south and west walls of the WP 15 site. Mesquite and sissoo trees will be planted at a spacing of approximately 15-18 feet. These trees will be maintained by EPCOR until Canyon Views develops, at which time they will be maintained by the homeowner's association or the adjacent lot owner. Irrigation will be provided as needed to establish and maintain these trees. When Canyon Views develops, additional landscaping is anticipated on the Klondike Property.

### **Noise**

The proposed WP 15 does not generate significant noise other than what is typically associated with a pump electrical motor. The site will be walled and the emergency generator will utilize a Cummins Quiet Site Stage 2 enclosure to mitigate sound generated when in operation. The emergency generator will be exercised weekly; however, it will only be operated on a continual basis in the event of a power loss or interruption.

### **Access**

During the time period prior to the development of the Canyon Views community, WP 15 will be accessed via a temporary access drive that extends from the terminus of 195<sup>th</sup> Avenue and turns west and north to the site. When Canyon Views develops, access will be via the roadways developed to serve the residential homes.

### **Parking**

This site is a Minor Utility Facility, therefore parking is not required. Vehicles entering the facility through the access gates will likely be stationed inside the facility when on site to perform maintenance or other operations.

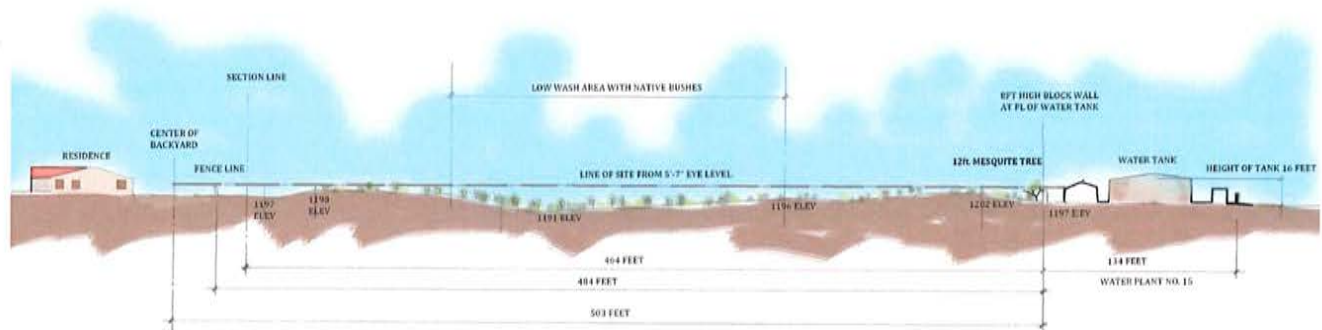
## **4.0 RELATIONSHIP TO SURROUNDING PROPERTIES**

The Canyon Views Property is zoned Planned Residential and is undeveloped desert. From an ownership perspective, the WP 15 site, access drive and pipeline will be located on an easement provided by Klondike. This easement will remain in effect until the Canyon Views community develops, at which time the property encompassing WP 15 will be transferred to or leased by EPCOR. The WP 15 site is located in the interior of the Canyon Views community and more than 300 feet from any border.

Property to the south of the Klondike Property (and south of the Missouri Road alignment) is the Beautiful Arizona Estates neighborhood. This area is located within unincorporated Maricopa County, is zoned R1-35 and is developed with custom homes. Property to the east of 195<sup>th</sup> Avenue and east of the Klondike Property is owned by the Maricopa County Municipal Water Conservation District and is undeveloped. Property east of 195<sup>th</sup> Avenue and south of the Missouri Road alignment is the Jackrabbit Estates subdivision which is zoned R1-10 and developed with residences.

EPCOR originally sited WP 15 along the Missouri Road alignment and immediately adjacent to the Beautiful Arizona Estates subdivision. In response to concerns raised by residents of Beautiful Arizona Estates, and based on recommendations from the City, EPCOR worked with Klondike to relocate the site to be interior to the planned Canyon Views community. The proposed site is located a substantial distance from the south boundary of the Klondike Property with a distance of 464 feet from the property line to the south wall of the WP 15.

The following exhibit depicts an architectural line of sight for WP 15 and identifies the distance from Beautiful Arizona Estates.



*Line of Sight for WP 15 Proposed Improvements from Mid-Section Line of Section 17 (Missouri Avenue Alignment)*

The following conceptual rendering depicts the proposed pump station as viewed from the midsection line at the Missouri Avenue alignment south of the site.



*WP 15 Proposed Improvements as Viewed from Mid-Section Line of Section 17  
(Missouri Avenue Alignment)*

As future homes are constructed within Canyon Views, it is anticipated that views of WP 15 from Beautiful Arizona Estates will be obscured by the homes and additional landscaping as part of the development.



## **5.0 WATER, SEWER AND REFUSE**

Water for the site will be provided through the proposed distribution lines within the WP 15 site. Sewer will eventually connect to the sewer main for Canyon Views. Until that time, sewer will not be available at the site. Fixtures such as toilets, sinks etc. will not be installed until after sanitary sewers are installed for the Canyon Views Subdivision. EPCOR does not provide or utilize receptacles for refuse at its booster pump station sites and will not require trash service.

## **6.0 FIRE AND POLICE PROTECTION**

The site will be located within the limits of the City of Buckeye. Fire and police protection will be provided by the City. The access driveway will be constructed to standards allowing emergency vehicle access as required by the City.

## **7.0 IMPACT ON LOCAL SCHOOLS AND PARKS**

This pump station facility will have no impact on local schools or parks.

## **8.0 PROPOSED PERCENTAGE AND ACREAGE OF PARKS AND OPEN SPACE**

The proposed site is a Utility Facility, Minor and contains no parks or open space.

## **9.0 ALTA SURVEY**

Per a conversation with City staff, it was determined that an ALTA survey would not be necessary because WP 15 will be located on an easement until Canyon Views develops.

## **10.0 DRAINAGE**

On-site storm water retention calculations will be based upon the *"Town of Buckeye Storm Water Drainage System Design Manual"* dated August 2007. Retention includes only the portion of the site within the perimeter wall. Calculations for volume required of storm water storage facilities are based on:  $VREQ = (D/12) * A * C$ ; Where:

VREQ = Storage volume required, cubic feet; D = 100-year, 2-hour depth of rainfall, inches

A = Area of project in square feet; C = Runoff coefficient

Runoff coefficient C is 0.95 for concrete, asphalt, and roofs, and 0.55 for desert landscaping. D is based upon the NOAA 100 year two hour isopluvial map provided in the Maricopa County Drainage Design Manual, Hydrology. Approximately 1,760 CF of retention storage is being provided. The retention basin will contain a dual chamber drywell as directed by the City of Buckeye. The ultimate outfall is located in the northeast corner of the site, following the existing natural course of drainage of the site. Onsite drainage and offsite flows will be fully assessed in the drainage report.

Offsite flows will be routed around the site by means of a temporary channel that will be removed when Canyon Views Subdivision is developed. At that time, drainage will be conveyed and retained per the Canyon Views drainage report and drainage design.

EXHIBIT F  
LETTERS OF OPPOSITION

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*5312 North Tuthill Road  
Beautiful Arizona Estates  
Litchfield Park, AZ 85340*

August 17, 2015

Jackie A. Meck, Mayor  
City of Buckeye  
530 East Monroe Avenue  
Buckeye, AZ 85326

Dear Mayor Meck,

EPCOR has submitted an application to the City of Buckeye for site plan approval of their proposed Water Plant 15, to provide water to Verrado Victory District and Canyon Views Development.

The purpose of this letter is to request that City of Buckeye hold public hearings with opportunity for public comments and input prior to finalizing Buckeye's decision on the EPCOR Water Plant 15 site plan application.

Beautiful Arizona Estates (BAE) is a pre-existing neighborhood located in unincorporated Maricopa County south of Canyon Views and east of Verrado Victory District, which are proposed subdivisions located in the City of Buckeye. The plat for our neighborhood was finalized and approved in the early 1960's over 50 years ago. BAE is not in the EPCOR certificated service territory as we receive our water services from Arizona Water Company. In addition, BAE receives our fire and emergency services from Buckeye Valley Fire District. In other words, EPCOR's activities and site plan request provide no benefits to the residents of BAE.

We are requesting that, at the very least, City of Buckeye should do no harm in their decision with regard to approval or disapproval of the EPCOR Water Plant 15 site plan.

The residents of Beautiful Arizona Estates are being harmed by the current EPCOR site plan proposal for Water Plant 15 since the value of our properties and homes will be decreased as a result of EPCOR's site proposal.

We are requesting that City of Buckeye hear our concerns (summarized below)

**\*\*EPCOR's Water Plant 15 is a hazardous chemical facility where water will be both pumped and treated with chlorine. This hazardous chemical facility should not be located near existing homes.**

**\*\*The proposed location of the plant will result in excessive noise and visual impairment to existing BAE homes and properties.**

**\*\*The proposed location is an environmentally sensitive area with a large wash, and**

endangered animal and plant species.

Beginning in the fall of 2014 prior to commencement of EPCOR's on-site work on this project, BAE residents provided an alternative site recommendation. Over the past year, BAE has repeatedly requested to meet with EPCOR to provide input on their plans. We also requested in a November 2014 hearing before the Arizona Corporation Commission that we be allowed to provide input on EPCOR's site plan for the water pumping and chlorination facility.

The BAE alternative site recommendation at the corner of Jack Rabbit/195th Ave and Bethany Home Road was rejected. Further, after EPCOR has assured us repeatedly over the past year that they were going to meet with BAE residents, EPCOR is now having a meeting on August 17, 2015 to explain their finalized plans, not to get comments and input.

The residents of Beautiful Arizona Estates are asking City of Buckeye to be a good neighbor. Beautiful Arizona Estates was here a long time before any planning for water infrastructure and platting of subdivisions in areas adjacent to our neighborhood. We understand that properties adjacent to BAE in City of Buckeye will ultimately be developed. However, we are asking that City of Buckeye hear and consider our comments, and that, at the very least, "Do No Harm" with your decision-making.

Please give our request for a public hearing on EPCOR's Water Plant 15 site application your serious consideration and approval.

Thank You



Jean Gray Huerta

CC

Stephen Cleveland, City Manager

Scott Zipprich P.E., City Engineer

✓ George Flores, Director, Development Services

Sean Banda, Associate Planner

## Andrea Marquez

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**From:** Sean Banda  
**Sent:** Tuesday, August 18, 2015 1:11 PM  
**To:** Andrea Marquez  
**Subject:** FW: EPCOR

Sean Banda | Planner  
City of Buckeye | Planning & Zoning Division  
530 E Monroe Ave | Buckeye, Arizona 85326  
P 623-349-6215 | [sbanda@buckeyeaz.gov](mailto:sbanda@buckeyeaz.gov)  
Monday thru Thursday 7am to 6pm CLOSED FRIDAYS

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**From:** Charles Kendall [<mailto:redr222@juno.com>]  
**Sent:** Monday, August 17, 2015 7:01 PM  
**To:** Sean Banda  
**Subject:** EPCOR

The purpose of this letter is to request that City of Buckeye hold public hearings with opportunity for public comments and input prior to finalizing their decision on the EPCOR site plan application.

Beautiful Arizona Estates is a pre-existing neighborhood located in unincorporated Maricopa County south of Canyon Views and east of Verrado, proposed subdivisions located in the City of Buckeye. The plat for our neighborhood was finalized and approved in the early 1960's over 50 years ago. BAE is not in the EPCOR certificated service territory as we receive our water services from Arizona Water Company. BAE receives our fire and emergency services from Buckeye Valley Fire District. In other words, EPCOR's activities and site plan request provide no benefits to the residents of BAE.

We are requesting that, at the very least, City of Buckeye should do no harm in their decision with regard to approval or disapproval of the EPCOR Water Plant 15 site plan.

**The residents of Beautiful Arizona Estates are being harmed by the current EPCOR site plan proposal for Water Plant 15 since the value of our properties and homes will be decreased as a result of EPCOR's proposal.**

We are requesting that City of Buckeye hear our concerns (summarized below)

**\*\*EPCOR's Water Plant 15 is a hazardous chemical facility where water will be both pumped uphill to Verrado and will be treated with chlorine.**

**\*\*The proposed location of the plant will result in excessive noise and visual impairment.**



\*\*The proposed location is an environmentally sensitive area with a large wash, and endangered animal and plant species.

\*\* Beginning back in late 2014 prior to the commencement of EPCOR's work on this project, BAE residents provided alternative siting recommendations, and have repeatedly requested to meet with EPCOR to provide input on their plans. We also requested in a November 2014 hearing before the Arizona Corporation Commission that we be allowed to provide input on EPCOR's plans. The BAE alternative site recommendation at the corner of Jack Rabbit/195th Ave and Bethany Home Road was rejected. Further, after EPCOR has assured us repeatedly over the past year that they were going to meet with us, EPCOR is now meeting with BAE residents to explain their finalized plans, not to get comments and input.

Bottom line, we are asking City of Buckeye to be a good neighbor. Beautiful Arizona Estates was here a long time before any planning for water infrastructure and platting of subdivisions in areas adjacent to our neighborhood. We understand that the subdivisions in City of Buckeye will ultimately be developed. However, we are asking that City of Buckeye consider our request and at the very least "Do No Harm".

\*\*\*\*\*

Sent from my iPad Charles L Kendall resident 18 yrs BAE

## Andrea Marquez

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**From:** Sean Banda  
**Sent:** Wednesday, August 19, 2015 11:42 AM  
**To:** Andrea Marquez  
**Subject:** FW: EPCOR Water Plant 15

Sean Banda | Planner  
City of Buckeye | Planning & Zoning Division  
530 E Monroe Ave | Buckeye, Arizona 85326  
P 623-349-6215 | [sbanda@buckeyeaz.gov](mailto:sbanda@buckeyeaz.gov)  
Monday thru Thursday 7am to 6pm CLOSED FRIDAYS

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**From:** Maria Sachs [<mailto:mariasachs1@yahoo.com>]  
**Sent:** Wednesday, August 19, 2015 11:38 AM  
**To:** Jackie Meck; Stephen Cleveland; Scott Zipprich; George Flores; Sean Banda  
**Subject:** EPCOR Water Plant 15

The purpose of this letter is to request that City of Buckeye hold public hearings with opportunity for public comments and input prior to finalizing their decision on the EPCOR site plan application.

Beautiful Arizona Estates (BAE) is a pre-existing neighborhood located in unincorporated Maricopa County south of Canyon Views and east of Verrado, proposed subdivisions located in the City of Buckeye. The plat for our neighborhood was finalized and approved in the early 1960's over 50 years ago. BAE is not in the EPCOR certificated service territory as we receive our water services from Arizona Water Company. BAE receives our fire and emergency services from Buckeye Valley Fire District. In other words, EPCOR's activities and site plan request provide no benefits to the residents of BAE.

We are requesting that, at the very least, City of Buckeye do no harm in your decision with regard to approval or disapproval of the EPCOR Water Plant 15 site plan.

**The residents of Beautiful Arizona Estates are being harmed by the current EPCOR site plan proposal for Water Plant 15 since the value of our properties and homes will be decreased as a result of EPCOR's proposal.**

We are requesting that City of Buckeye hear our concerns (summarized below)

**\*\*EPCOR's Water Plant 15 is a hazardous chemical facility where water will be both pumped uphill to Verrado and will be treated with chlorine.**

**\*\*The proposed location of the plant will result in excessive noise and visual impairment.**

\*\*The proposed location is an environmentally sensitive area with a large wash, and endangered animal and plant species.

\*\* Beginning back in late 2014 prior to the commencement of EPCOR's work on this project, BAE residents provided alternative siting recommendations, and have repeatedly requested to meet with EPCOR to provide input on their plans. We also requested in a November 2014 hearing before the Arizona Corporation Commission that we be allowed to provide input on EPCOR's plans. The BAE alternative site recommendation at the corner of Jack Rabbit/195th Ave and Bethany Home Road was rejected. Further, after EPCOR has assured us repeatedly over the past year that they were going to meet with us, EPCOR is now meeting with BAE residents to explain their finalized plans, not to get comments and input.

**Bottom line, we are asking City of Buckeye to be a good neighbor.** Beautiful Arizona Estates was here a long time before any planning for water infrastructure and platting of subdivisions in areas adjacent to our neighborhood. We understand that the subdivisions in City of Buckeye will ultimately be developed. However, we are asking that City of Buckeye consider our request and at the very least "Do No Harm".

Thank you  
Maria Sachs

August 19, 2015

Jackie A. Meck, Mayor  
City of Buckeye  
530 East Monroe Avenue  
Buckeye, Arizona 85326

SUBJECT: EPCOR Water Plant 15

Dear Mayor Meck:

The residents of Beautiful Arizona Estates (BAE) are being harmed by the current EPCOR site plan proposal for Water Plant 15 being located in Klondike Canyon Views.

EPCOR's plan will devalue the property values of BAE (which interestingly EPCOR does not provide services to) while increasing the value and attractiveness of DMB Victory Verrado (a competing subdivision to BAE, which interestingly EPCOR does provide services to). In other words, putting their "trash" next to BAE, while clubhouses, pools, golf courses, and parks are being built in Victory Verrado.

We are requesting that the City of Buckeye (Buckeye) hear our concerns which are summarized below:

- 1 – EPCOR's Water Plant 15 is a hazardous chemical facility where water will be both pumped uphill to Victory Verrado and will be treated with chlorine. There is also a 300,000 gallon water tank in the plan.
- 2 – The proposed location of the plant will result in excessive noise, smell, and visual impairment to BAE.
- 3 – Arizona Game and Fish has deemed this location an environmentally sensitive area with large washes, and endangered animal and plant species.
- 4 – There are thousands and thousands of acres of undeveloped land in the surrounding areas where this could be built without affecting existing homes.
- 5 – EPCOR has been, and continues to be, deceitful, misleading, unprofessional, and disrespectful in its dealings with BAE. Beginning in 2014, prior to the commencement of EPCOR's work on this project, BAE residents provided alternative siting recommendations, and have repeatedly requested to meet with EPCOR to provide input on their plans - on the pipeline itself and now the pumping station. While assured we would be included, we have never been afforded that opportunity.

BAE is a pre-existing neighborhood located in unincorporated Maricopa County south of Canyon Views and east of Victory Verrado, proposed subdivisions located in Buckeye. The plat for our neighborhood was finalized and approved in the early 1960's over 50 years ago.

We are asking the City of Buckeye to continue to be a good neighbor. We understand that subdivisions in Buckeye will ultimately be developed, but that shouldn't be at the expense of a neighboring subdivision, especially when it CLEARLY does not have to be - again, there is a great deal of undeveloped land and areas where this could be built without affecting existing homes. This would allow people the choice of whether they want to build/buy a home around a toxic, industrial, noisy, smelly, eyesore, not have one forced on them.

We respectfully request that the City of Buckeye "Do No Harm" to Beautiful Arizona Estates by rejecting any EPCOR Water Plant 15 site plans located in Klondike Canyon Views. Thank you for your time and consideration.

Sincerely,

*Anthony & Karen Sciulli*

Anthony & Karen Sciulli  
19532 W. Georgia Avenue  
Litchfield Park, AZ 85340  
623-572-4788

cc: Stephen Cleveland, City Manager  
Scott Zipprich P.E., City Engineer  
George Flores, Director of Development Services ✓  
Sean Banda, Associate Planner

August 20, 2015

Jackie A. Meck, Mayor

City of Buckeye

530 East Monroe Avenue

Buckeye, Arizona 85326

Re: EPCOR Water Plant 15

Dear Mayor Meck:

Although I now live in Desert Hills, AZ, I purchased an acre of land in Beautiful Arizona Estates to build my future retirement home. My land sits on Georgia Avenue nestled between gorgeous and expensive custom homes. I was impressed by the beautiful landscapes of Buckeye and the White Tank Mountains, but mostly by the friendly people in your town.

I am writing to you now to implore your intervention by preventing the building of EPCOR's Water chemical facility that is proposed to be "right in my backyard". My property will be tremendously affected by this proposed location because of the visual impairment, the odors, and excessive noise.

There are hundreds of acres of land upon which EPCOR can build this plant. As it stands right now, they want to build it only 400 feet from my future retirement home. I am deeply disappointed and angered. My property will be devalued immediately, while the properties in Verrado and Canyon Views will increase in value and benefit from this chlorination plant.

I am writing on behalf of myself and the entire neighborhood of Beautiful Arizona Estates for you to analyze this situation carefully and hopefully favor our wishes to move this water plant to the Verrado area or the far north side of Canyon Views. It is completely unacceptable to build a chlorination plant in such close proximity to the homes in Beautiful Arizona Estates.

This issue needs to be resolved before it explodes into a litigious situation. Property values, environmental damage, and health concerns are at stake. If this proceeds, it will create bad publicity for EPCOR and the City of Buckeye.

Thank you for your anticipated cooperation in this matter.

A handwritten signature in cursive script that reads "Carol K. Jensen".

Carol K. Jensen

2233 E. Joy Ranch Road

Desert Hills, AZ 85086

cc: Stephen Cleveland, City Manager  
Scott Zipprich P.E., City Engineer  
George Flores, Director of Development Services  
Sean Banda, Associate Planner

5312 North Tuthill Road  
Beautiful Arizona Estates  
Litchfield Park, AZ 85340

August 27, 2015

Jackie A. Meck, Mayor  
City of Buckeye  
530 East Monroe Avenue  
Buckeye, AZ 85326

Dear Mayor Meck,

The purpose of this letter is to provide comments on the EPCOR site plan application submitted to the City of Buckeye for the proposed Water Plant 15, to provide water to Verrado Victory District and Canyon Views Development.

EPCOR held a meeting with residents of Beautiful Arizona Estates on August 17, 2015 to present their proposed Water Plant 15 site plan. During the preliminary remarks presented by Andrew Brown, EPCOR Director of Engineering, EPCOR stated that residents of Beautiful Arizona Estates would have the opportunity to provide comments and input during the City of Buckeye's Planning & Zoning Commission and City Council consideration of the site plan application.

Comments on the EPCOR site plan proposal for Water Plant 15 are provided below.

**Location:** EPCOR is proposing that Water Plant 15 be located within the future Canyon Views Community 470 feet north of the Missouri Road alignment on the northern border of Beautiful Arizona Estates. This proposed location is unacceptable to the residents of Beautiful Arizona Estates. The Water Plant should be located as far away from Beautiful Arizona Estates as possible, preferably on the Canyon Views northern border at Bethany Home Road.

EPCOR's planning for this project has failed to consider that the Beautiful Arizona Estates neighborhood has existed for over 50 years. The remainder of the Canyon Views site is completely open desert. Locating the Water Plant near Beautiful Arizona Estates devalues our properties, whereas there are no existing homes in the northern portion of Canyon Views that would be adversely devalued.

EPCOR has stated that the proposed site is most cost effective because of their existing infrastructure. Again, this is an example of EPCOR's inadequate planning for the total project. The first phase of the project consisted of a water pipeline from 195<sup>th</sup> Avenue west to the Verrado Victory property. Buckeye should not let EPCOR hold them hostage with regard to location stating that it is too costly to move the site further north since they have already installed a water pipeline along the Missouri Road alignment. EPCOR should have gotten approval for their entire project, including Water Plant 15 before any pipeline was

put in the ground. Buckeye should not be forced by EPCOR's poor planning to approve a site that is unacceptable to Beautiful Arizona Estates residents.

**Hazardous Chemical Facility:** Sodium hypochlorite will be added to the water at this Water Plant facility. Weekly deliveries via tank trucks of this concentrated hazardous chemical will be taking place. City of Buckeye should ensure that any roadways used by the tanker trucks to deliver these hazardous chemicals are not allowed to be any where near the vicinity of Beautiful Arizona Estates.

**Permits:** EPCOR has repeatedly demonstrated that their way of doing business is to start projects before they have all permits and approvals from all affected regulatory bodies. City of Buckeye should ensure that EPCOR has all required permits before EPCOR is allowed to start work.

**Height of Privacy wall:** EPCOR states that an 8-foot privacy wall will surround the pumping facility. Buckeye should require a 12-foot privacy enclosure. In addition, EPCOR should be required to plant vegetation that will achieve a minimum 16-foot height at full maturity, and EPCOR should be required to provide water to maintain this vegetation for as long as the Water Plant is in operation.

**Noise:** It is my understanding that City of Buckeye will allow no more than a 50-decibel noise level outside the Water Plant facility. EPCOR will have a backup generator at this facility to ensure continued operation in the event of a power outage. The backup generator will be tested for 15 minutes every week. The noise level testing should be done during the weekly generator test period to ensure compliance with the 50-decibel standard. EPCOR should be required to install noise abatement materials to ensure compliance with the Buckeye standard at all times and under all conditions.

Thank you for this opportunity to provide comments. If you have any questions or need additional information, please feel free to contact me at 623-853-0980 (home) or 602-320-7683 (cell).

Sincerely,

Jean Gray Huerta

CC

Stephen Cleveland, City Manager

Scott Zipprich P.E., City Engineer

George Flores, Development Services

Terri Hogan, Development Services



November 24, 2015

City of Buckeye Planning & Zoning Commission,

As a resident of Beautiful Arizona Estates, we are vehemently opposed to the proposed site plan location of EPCOR Water Plant 15 (which includes a Booster Pump Station, chlorine additive/hazardous chemical facility, and 300,000 gallon water tank) for the following reasons:

1 – It is completely unnecessary and false that EPCOR Water Plant 15 has to be placed in this exact location. There are numerous other viable options and thousands and thousands of acres of undeveloped land in the surrounding areas where this could be built without affecting existing homes.

2 – The proposed location of the plant will result in excessive noise, smell, and visual impairment to the residences of Beautiful Arizona Estates. In addition, it would require deliveries from liquid chlorine hazardous chemical trucks and weekly maintenance trucks.

3 – EPCOR's plan will devalue the property values of Beautiful Arizona Estates (which interestingly EPCOR does not provide services to) while increasing the value and attractiveness of DMB Victory Verrado (a competing subdivision to Beautiful Arizona Estates, which interestingly EPCOR does provide services to). In other words, putting their "trash" next to Beautiful Arizona Estates, while clubhouses, pools, golf courses, and parks are being built in Victory Verrado.

4 – EPCOR has been, and continues to be, deceitful, misleading, unprofessional, and disrespectful in its dealings with Beautiful Arizona Estates and the City of Buckeye. Even the site plan proposal filed with the City of Buckeye contains "artist renderings" which are not to scale and do not accurately depict elevations and washes of this proposed project. The residences of Beautiful Arizona Estates should not be harmed due to EPCOR's poor planning and poor engineering.

5 – Arizona Game and Fish has deemed this location an environmentally sensitive area with large washes, and endangered animal and plant species.

6 – There are numerous other entities that have substantial issues with EPCOR's Water Plant 15 proposed site plan including, but not limited to: APS, Maricopa County Department of Transportation, Maricopa County Flood Control District, Arizona Game and Fish, United States Fish and Wildlife Service, etc.

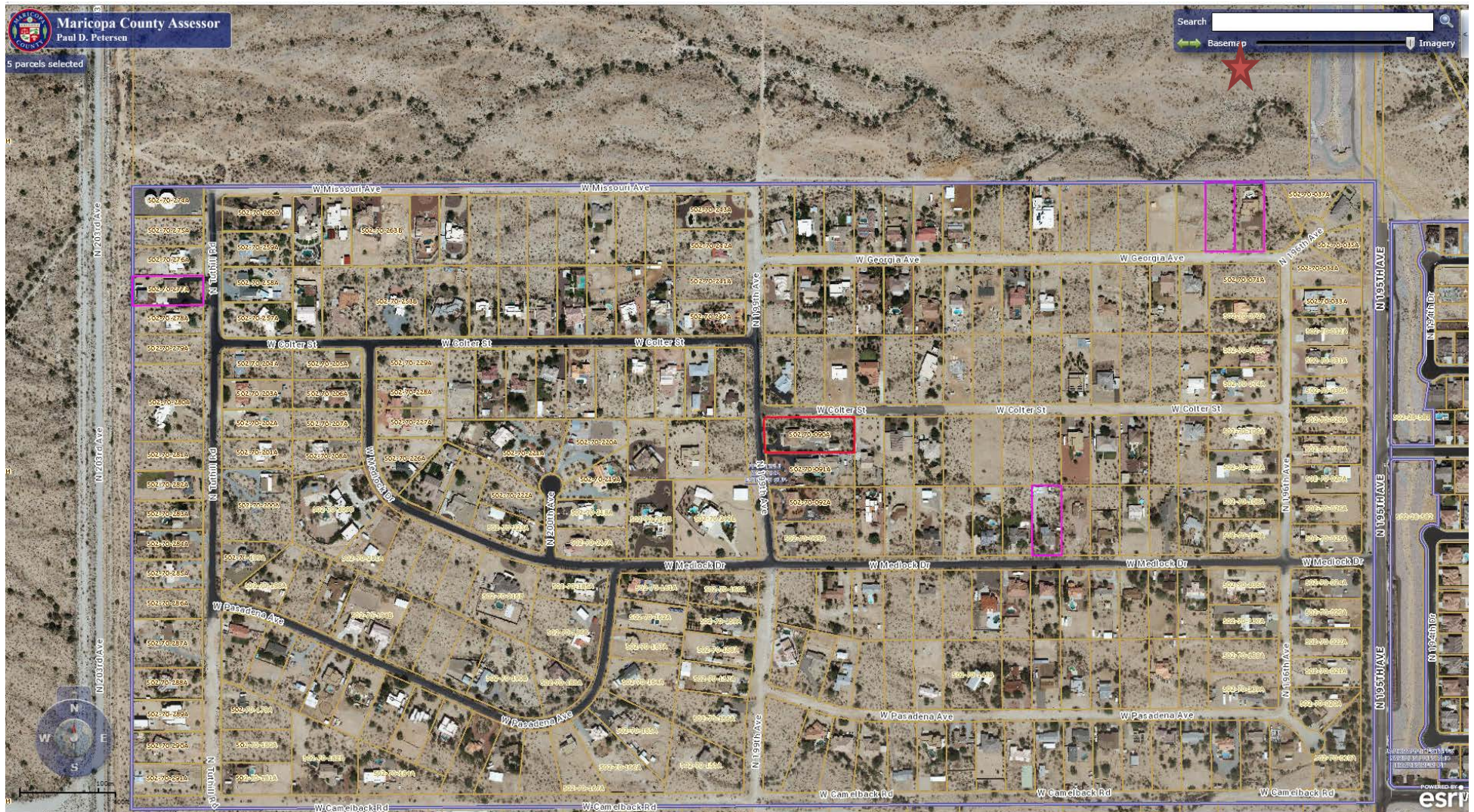
We are asking the City of Buckeye Planning and Zoning Commission to continue to be a good neighbor. We understand that subdivisions in Buckeye will ultimately be developed, but that shouldn't be at the expense of a neighboring subdivision, especially when it CLEARLY does not have to be – again, there is a great deal of undeveloped land and areas where this could be built without affecting existing homes. This would allow people the choice of whether they want to build/buy a home around a toxic, industrial, noisy, smelly, eyesore, not have one forced on them.

We respectfully request that the City of Buckeye Planning and Zoning Commission "Do No Harm" to Beautiful Arizona Estates by rejecting any EPCOR Water Plant 15 site plans located in Klondike Canyon Views. Thank you for your time and consideration.

Sincerely,

Anthony & Karen Sciulli  
19532 W. Georgia Avenue  
Litchfield Park, AZ 85340  
(623) 572-4788





\*snapshot\* oppositions' property location in relation to water booster pump station